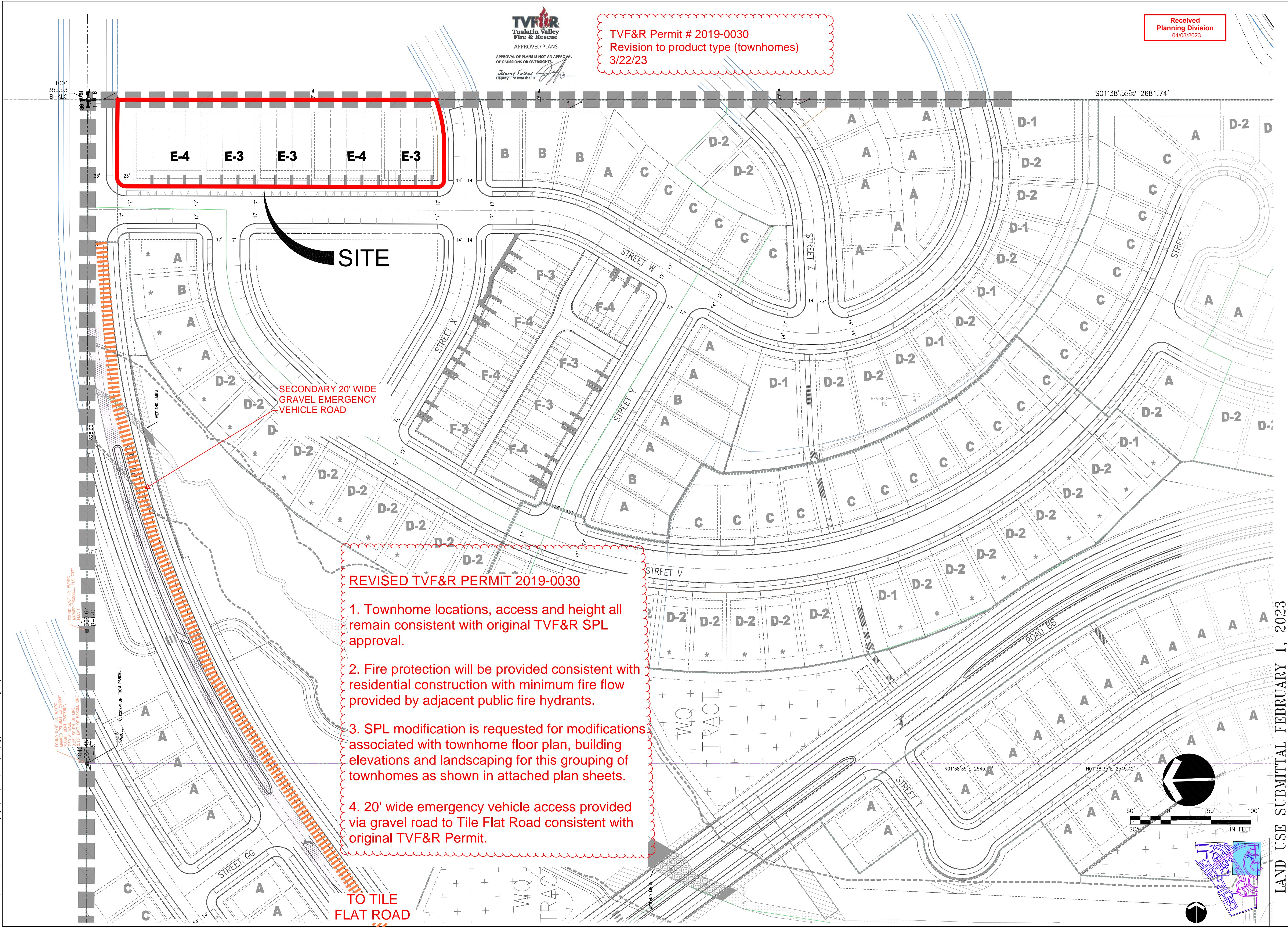




TVF&R Permit # 2019-0030
Revision to product type (townhomes)
3/22/23

Received
Planning Division
04/03/2023



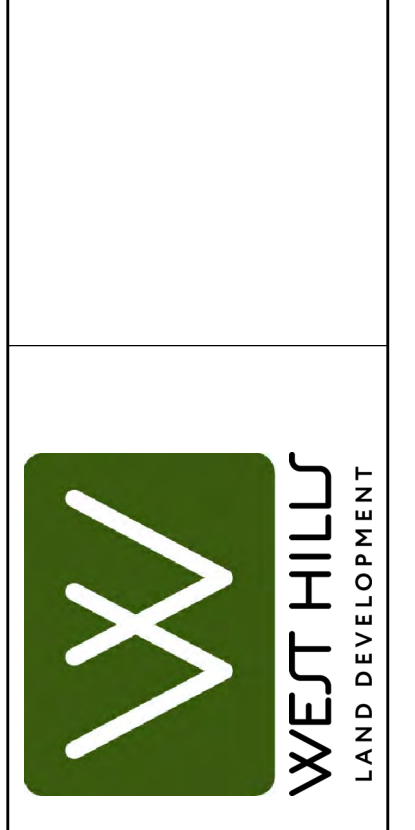
REVISED TVF&R PERMIT 2019-0030

1. Townhome locations, access and height all remain consistent with original TVF&R SPL approval.
2. Fire protection will be provided consistent with residential construction with minimum fire flow provided by adjacent public fire hydrants.
3. SPL modification is requested for modifications associated with townhome floor plan, building elevations and landscaping for this grouping of townhomes as shown in attached plan sheets.
4. 20' wide emergency vehicle access provided via gravel road to Tile Flat Road consistent with original TVF&R Permit.



Plotfile: sun_30_2023 - 1:40pm elevation L:\Projects\21100\21121\104_Old\Map\DWG\PT148020-TYPE_2.dwg Layout Name: P3.3 R

NO.	DATE	BY	REVISION COMMENTS



LAND USE SUBMITAL FEBRUARY 1, 2023
SCHOLLS HEIGHTS AT SOUTH COOPER MOUNTAIN
BEAVERTON, OREGON
MODIFICATION OF A DECISION (CU/LD)
PRELIMINARY SITE LAYOUT & HOUSE TYPE PLAN

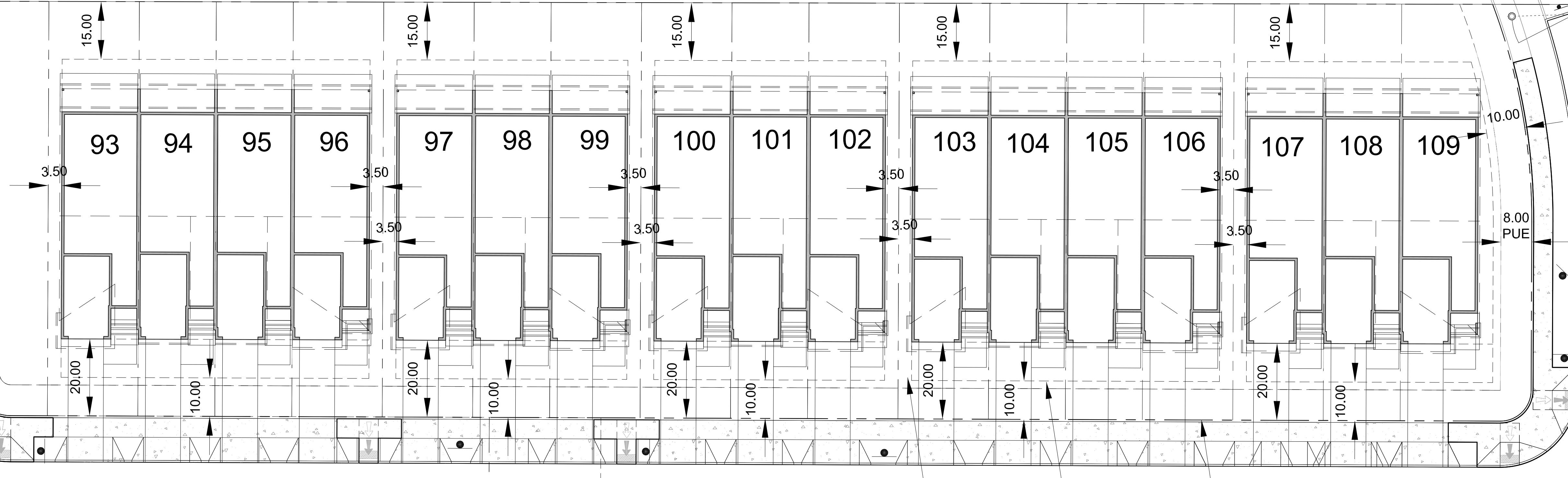
Datum: NGVD 29
Otak
Otak, Inc.
808 SW Third Avenue, Ste. 300
Portland, OR 97204
503.287.6825
www.otak.com
21121
Project No. Drawing Name
P2.1
Sheet No. of
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Plotfile: sun_30_2023 - 12:52pm site:station L:\Project\21100\21121\04 CAD\Map\DWG\2117480 SITE PLAN-TYPE 2.dwg Layout Name: P3.3 R

S. W. Barrows Rd.

S. W. Precipice Ln.

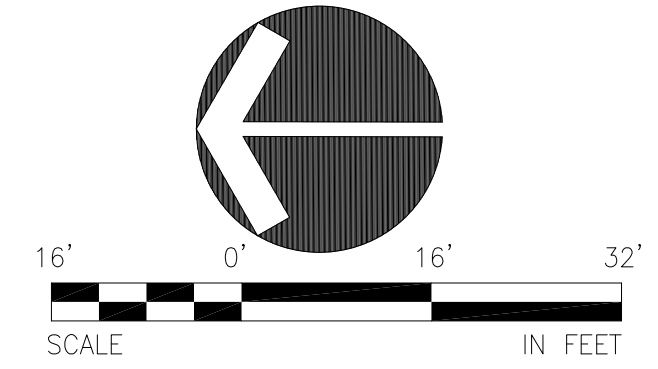
S. W. Trask St.



Typical landscape area
Setback
Property line

LEGEND

- SITE
- RIGHT OF WAY
- CENTER LINE
- LOT LINE
- LOT NUMBER / NAME
- EASEMENT LINE
- PROPOSED SPECIAL REAR YARD SETBACK (DECKS)
- STANDARD CURB
- PRELIMINARY SIGHT DISTANCE (25 MPH, 250' REQUIRED)
- VISION CLEARANCE TRIANGLES
- ON STREET PARKING SPACE



LAND USE SUBMITTAL FEBRUARY 1, 2023

SCHOLLS HEIGHTS AT SOUTH COOPER MOUNTAIN
BEAVERTON, OREGON
MODIFICATION OF A DECISION (CU/LD)



Datum: NGVD 29
21121
Project No. Drawing Name
P2.2
Sheet No.
Sheet Number of
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NO.	DATE	BY	REVISION COMMENTS

Design Drawn Checked Date
BDS CJB MAP MARCH 3, 2021

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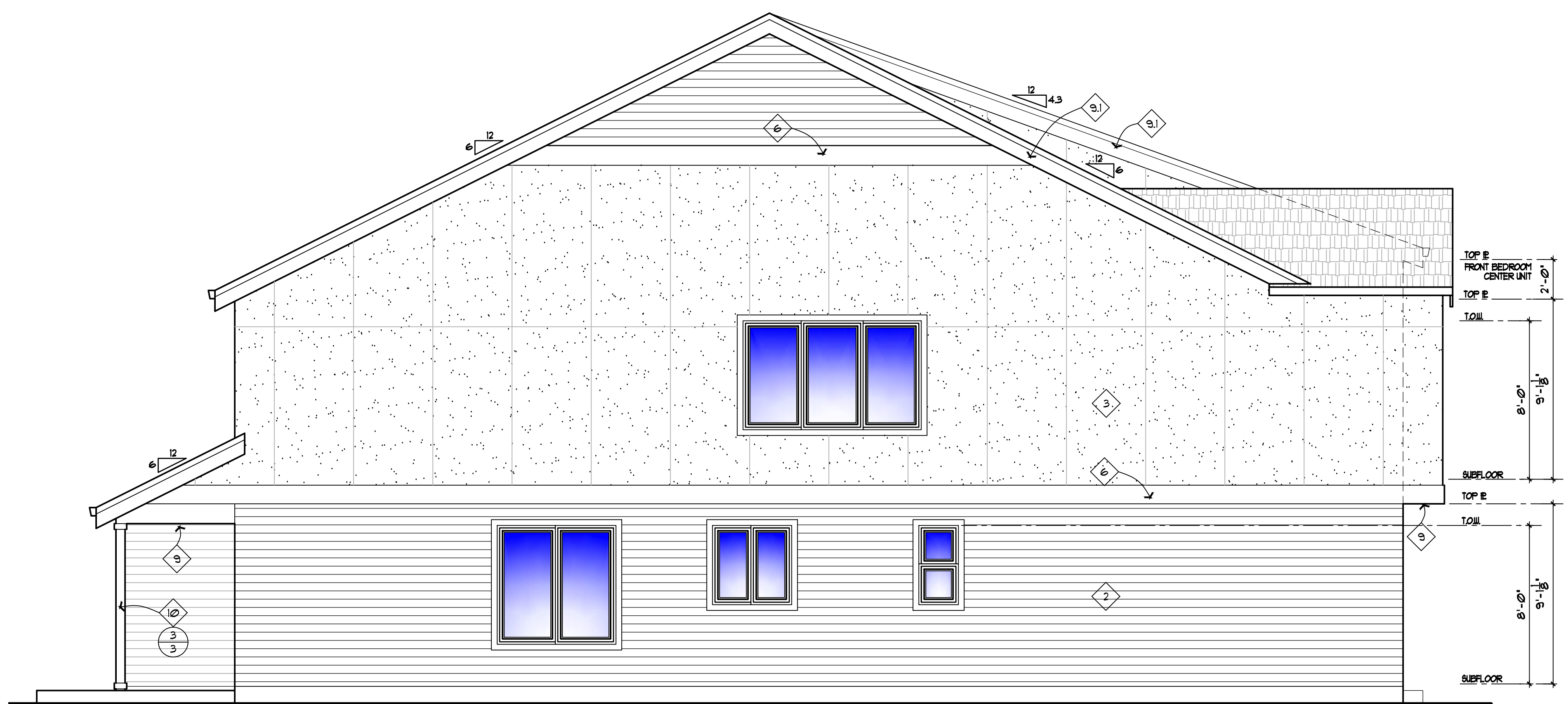
10/20/22, PRELIM	SHG
1/9/23, REVISIONS	SHG
1/10/23, REVISIONS	SHG
1/12/23, REVISIONS	SHG
1/23/23, REVISIONS	SHG



FRONT ELEVATION

SCALE: 1/4"=1'-0"

- ELEVATION KEYNOTES**
- ROOFING (TYPICAL): ASPHALT SHINGLES (ORSC R305.2) PER BUILDER'S SELECTION.
 - SIDING (MAIN STORY): HARDIE PLANK LAP SIDING, 5' EXPOSURE -SEE ELEVATIONS FOR LOCATIONS.
 - SIDING (UPPER STORY): HARDIE STUCCO PANEL SIDING -SEE ELEVATIONS FOR LOCATIONS.
 - WINDOW TRIM: 5/4 X 4 AROUND ALL WINDOWS AND DOORS. FLASH ABOVE ALL HORIZONTAL TRIM. RIP 5/4 TRIM BOARDS TO FIT AT CORNER WINDOWS.
 - CORNER TRIM (TYPICAL): MITERED CORNER CLIPS PER MFR. AT EXTERIOR CORNERS. INSTALL 5/4 STOP BD. AT INTERIOR CORNERS.
 - HORIZONTAL TRIM BAND: 5/4 X 12 W/ TOP FLASHING.
 - GUTTERS (TYP-UNQ.): OUTSLOPING FASCIA STYLE METAL GUTTER AND DOWNSPOUTS (PAINTED), SPIKED A MIN. OF 24" O.C. TO 2x6 FASCIA BD. ALL JOINTS TO BE SCREWED AND SEALED WITH 'ALOCO' GUTTER SEAL OR EQUIV. INSTALL METAL DRIP EDGE ON TOP OF ROOF SHEATHING PER PLAN. CONNECT ALL DOWNSPOUTS TO APPROVED RAIN DRAIN COLLECTION WHERE PROVIDED.
 - GARAGE DOOR TRIM SURROUND: 5/4 X 4 AT TOP AND SIDES
 - PORCH SOFFITS: 1X2 TRIM ON BEAMS OF HARDIE SMOOTH SOFFIT PANELS.
 - BARGE BOARDS: 1X4 TRIM ON 5/4 X 12 BARGE BOARD.
 - 6X6 POST WRAP WITH 5X4X HARDIE TRIM WITH 1X4 TOP AND BOTTOM TRIM.



LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"

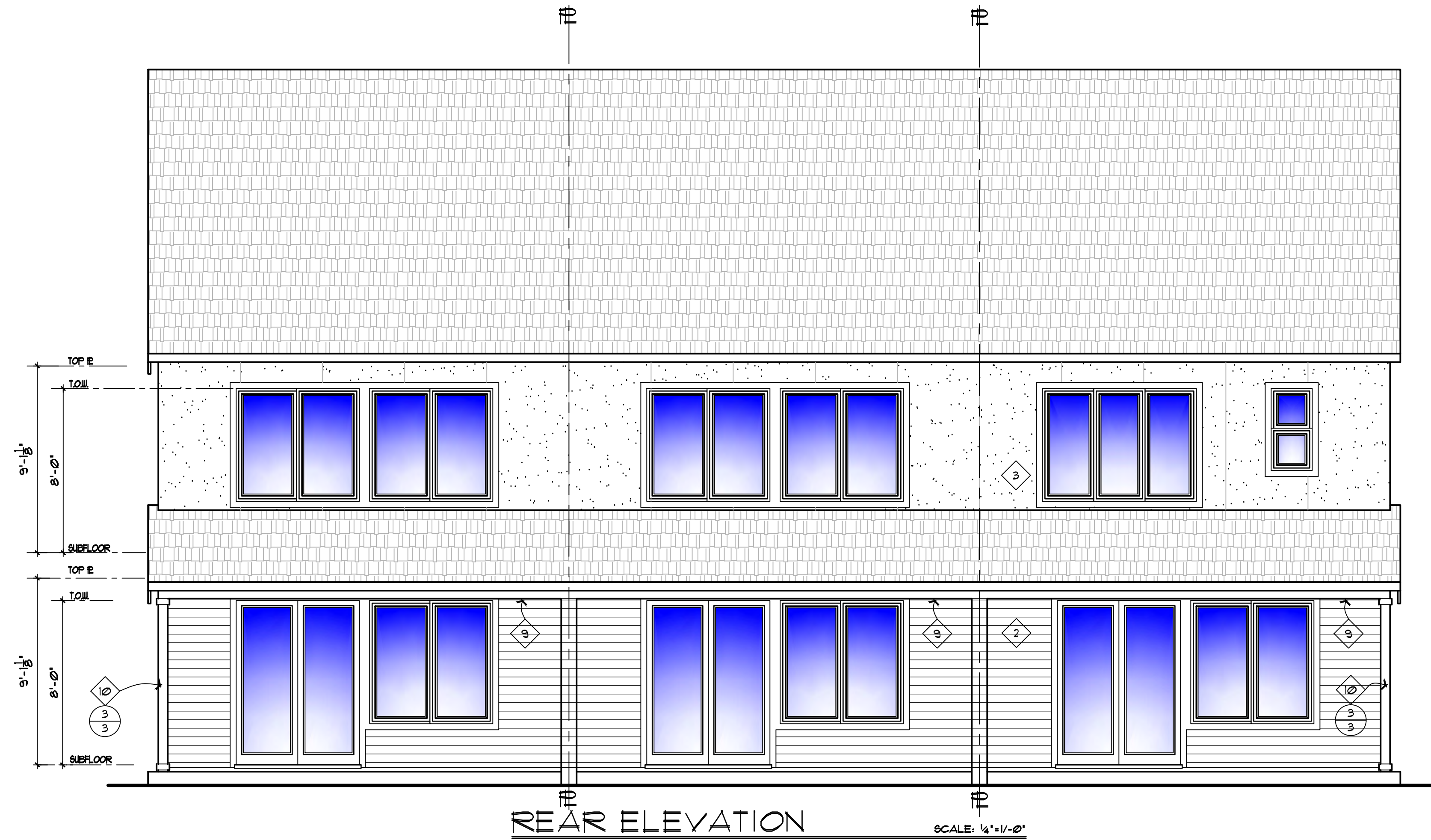
A-1

SCHOLLS HEIGHTS
TOWNHOMES
2-STORY
FRONT LOAD GARAGE
3-PLEX

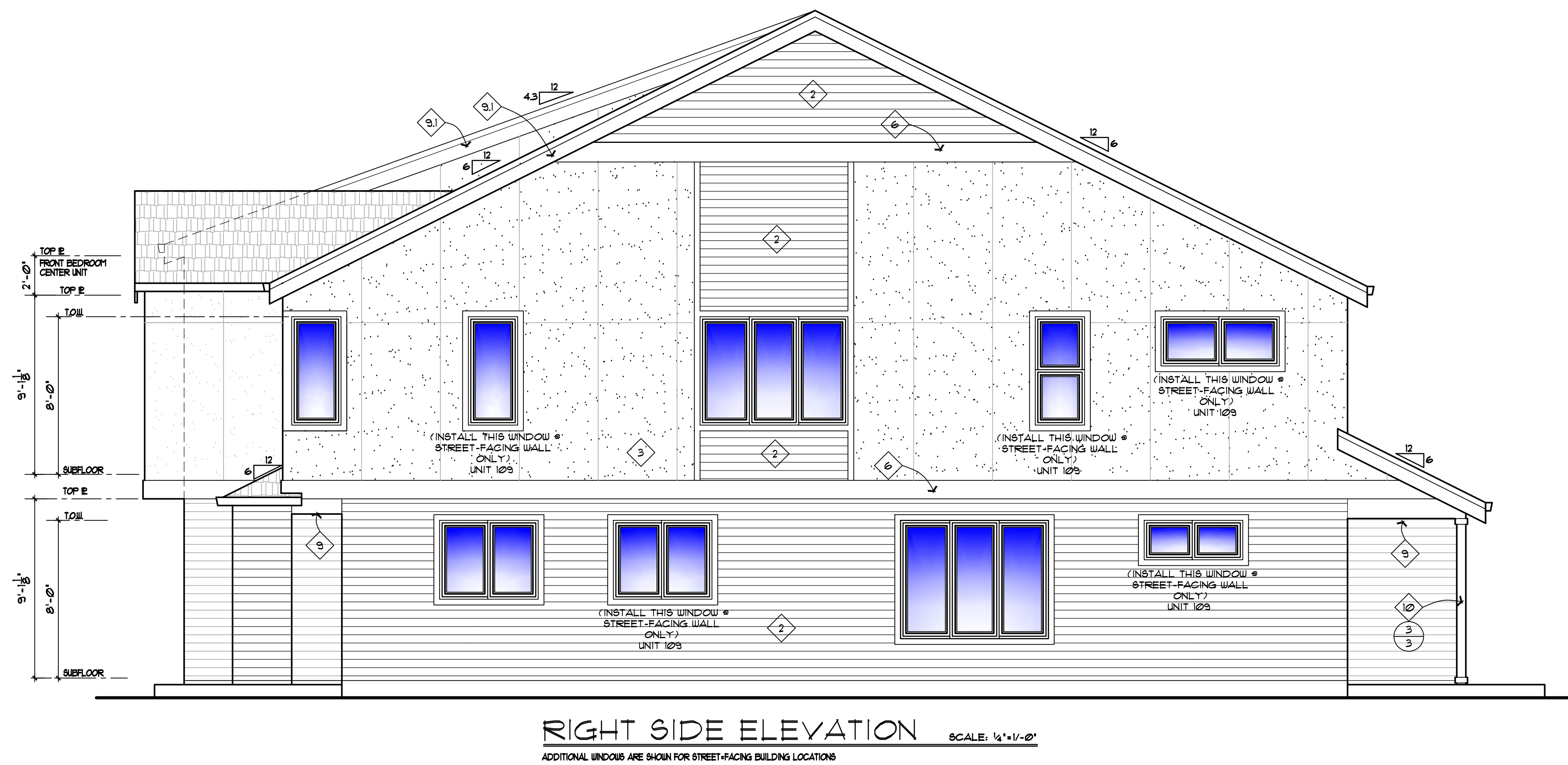
SHEET*
 OF 12

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10/20/22, PRELIM	SHG
1/9/23, REVISIONS	SHG
1/10/23, REVISIONS	SHG
1/12/23, REVISIONS	SHG
1/23/23, REVISIONS	SHG



- ELEVATION KEYNOTES**
1. ROOFING (TYPICAL): ASPHALT SHINGLES (ORSC R309.2) PER BUILDER'S SELECTION.
 2. SIDING (MAIN STORY): HARDIE PLANK LAP SIDING, 5' EXPOSURE -SEE ELEVATIONS FOR LOCATIONS.
 3. SIDING (UPPER STORY): HARDIE STUCCO PANEL SIDING -SEE ELEVATIONS FOR LOCATIONS.
 4. WINDOW TRIM: 5/4 X 4 AROUND ALL WINDOWS AND DOORS. FLASH ABOVE ALL HORIZONTAL TRIM. RIP 5/4 TRIM BOARDS TO FIT AT CORNER WINDOWS.
 5. CORNER TRIM (TYPICAL): MITERED CORNER CLIPS PER MFR. AT EXTERIOR CORNERS. INSTALL 5/4 STOP BD. AT INTERIOR CORNERS.
 6. HORIZONTAL TRIM BAND: 5/4 X 12 W/ TOP FLASHING.
 7. GUTTERS (TYP. UNO.): OUTSTLOPING FASCIA STYLE METAL GUTTER AND DOWNSPOUTS (PAINTED), SPIKED A MIN. OF 24" O.C. TO 2X6 FASCIA BD. ALL JOINTS TO BE SCREWED AND SEALED WITH 'ALOCCO' GUTTER SEAL OR EQUIV. INSTALL METAL DRIP EDGE ON TOP OF ROOF SHEATHING PER PLAN. CONNECT ALL DOWNSPOUTS TO APPROVED RAIN DRAIN COLLECTION WHERE PROVIDED.
 8. GARAGE DOOR TRIM SURROUND: 5/4 X 4 AT TOP AND SIDES
 9. PORCH SOFFITS: 1X2 TRIM ON BEAMS OF HARDIE SMOOTH SOFFIT PANELS.
 - 9.1 BARGE BOARDS: 1X4 TRIM ON 5/4 X 12 BARGE BOARD.
 10. 6X6 POST WRAP WITH 5X4X HARDIE TRIM WITH 1X4 TOP AND BOTTOM TRIM.



A-2

**SCHOLLS HEIGHTS
TOWNHOMES**

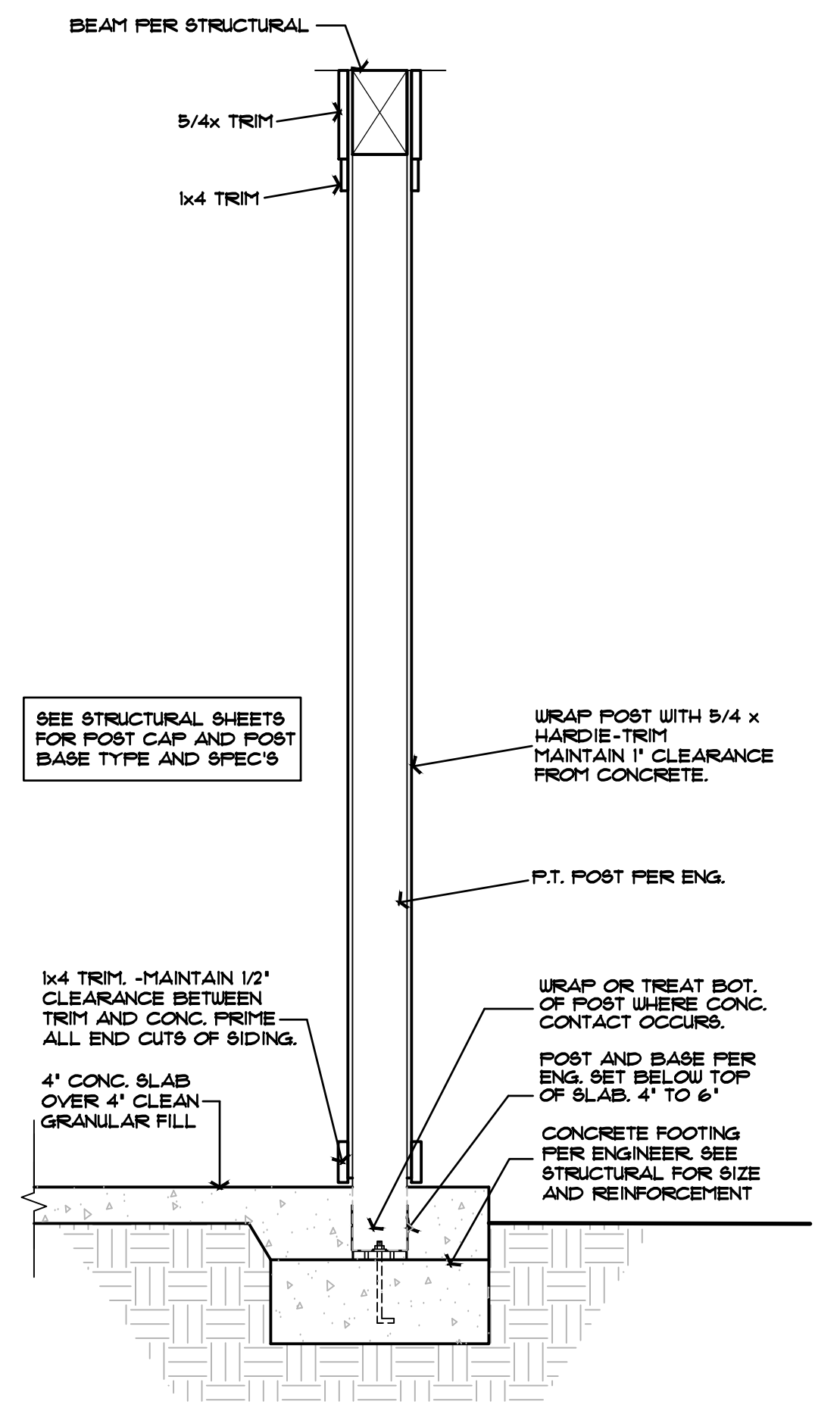
**2-STORY
FRONT LOAD GARAGE**

3-PLEX

SHEET*

1 OF 12

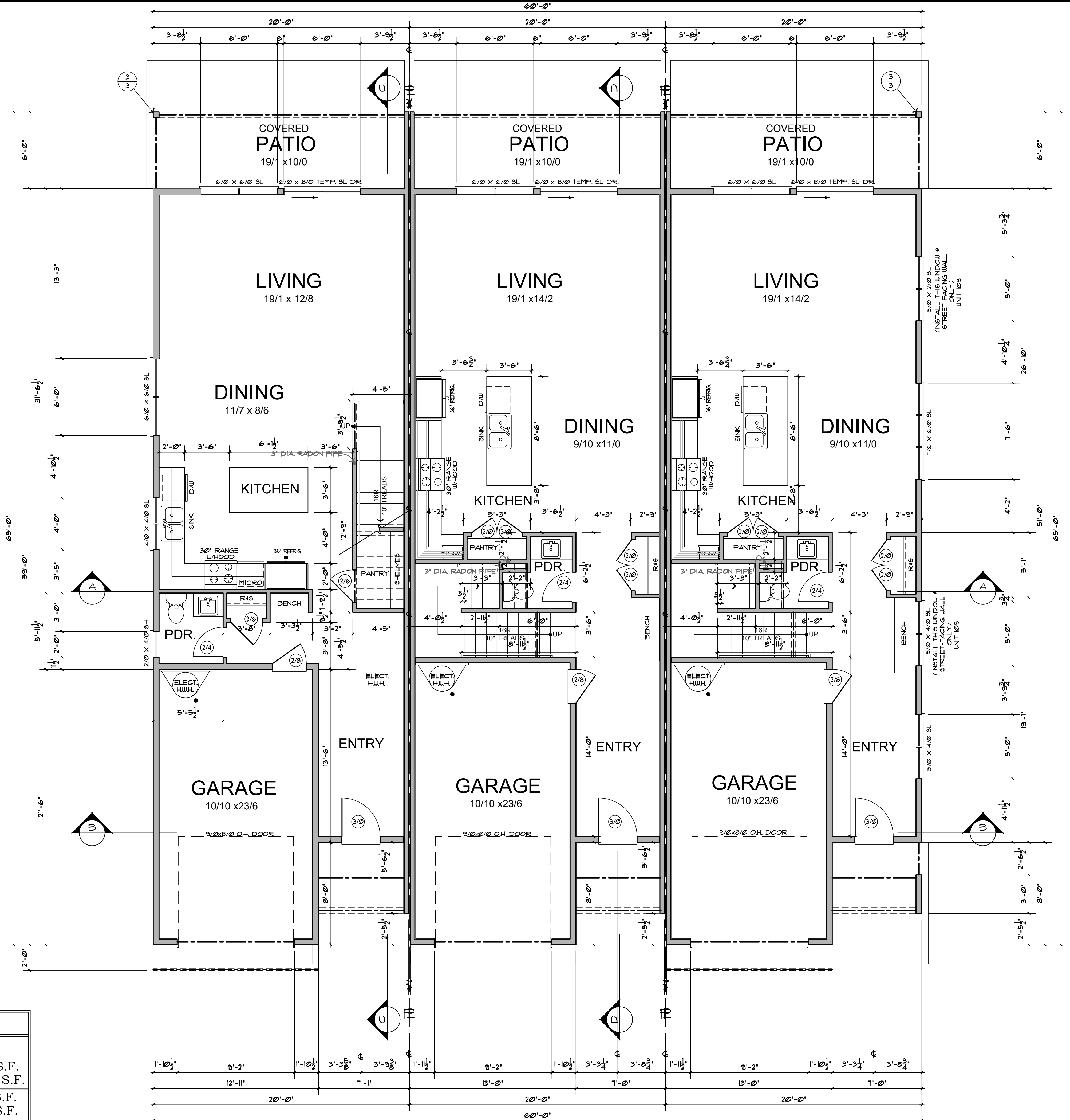
JCB*



3 COLUMN DETAIL

SCALE: 3/4" = 1'-0"

ECH-COL-1



MAIN LEVEL FLOOR PLAN

1/4" = 1'-0"

2-STORY 3 PLEX AREA SQ. FT.		
LEFT UNIT	CENTER UNIT	RIGHT UNIT
M. FLR. = 820 S.F.	M. FLR. = 763 S.F.	M. FLR. = 767 S.F.
U. FLR. = 1166 S.F.	U. FLR. = 1136 S.F.	U. FLR. = 1166 S.F.
TOTAL = 1,986 S.F.	TOTAL = 1,899 S.F.	TOTAL = 1,933 S.F.
GARAGE = 272 S.F.	GARAGE = 278 S.F.	GARAGE = 278 S.F.

A-3

SCHOLLS HEIGHTS TOWNHOMES

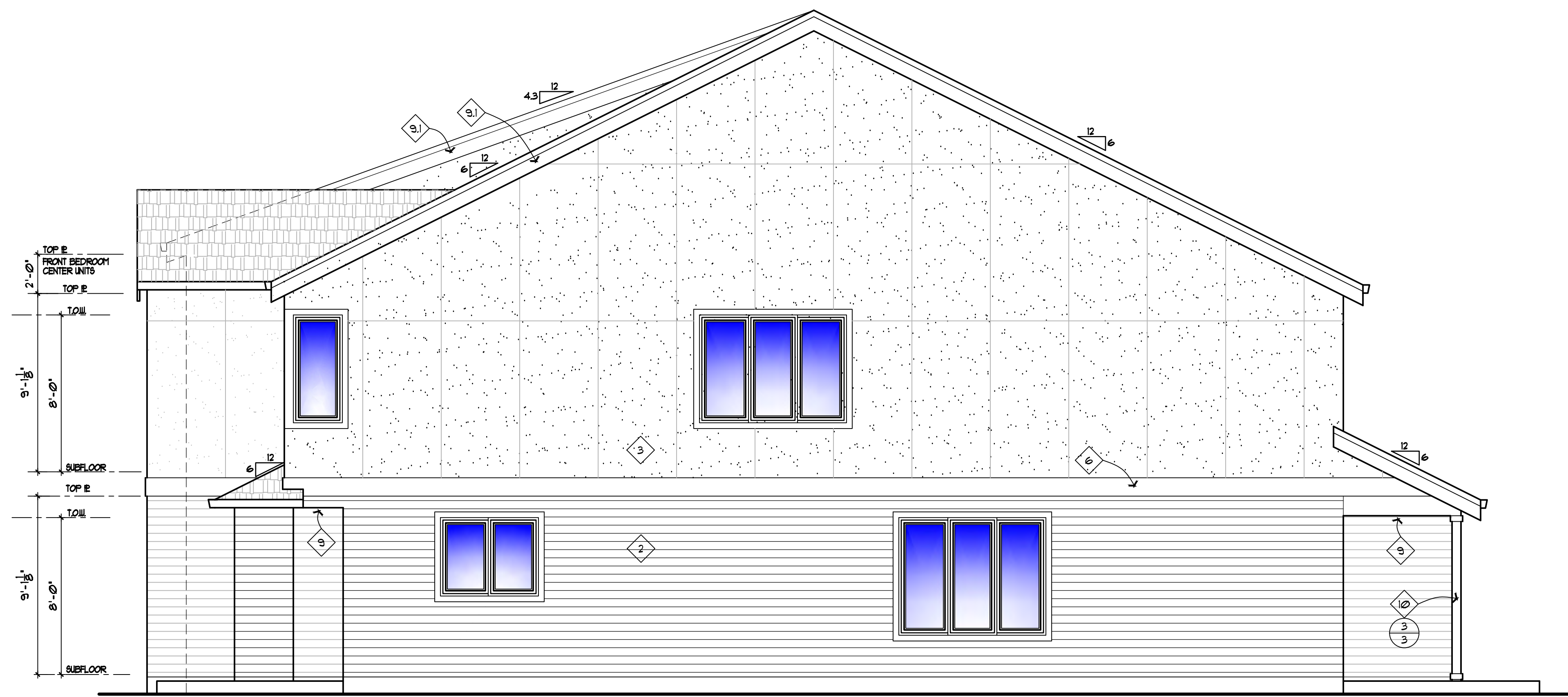
2-STORY FRONT LOAD GARAGE

3-PLEX



FRONT ELEVATION

SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

- ELEVATION KEYNOTES**
1. ROOFING (TYPICAL): ASPHALT SHINGLES (ORSC R20B2) PER BUILDER'S SELECTION.
 2. SIDING (MAIN STORY): HARDIE PLANK LAP SIDING, 5" EXPOSURE -SEE ELEVATIONS FOR LOCATIONS.
 3. SIDING (UPPER STORY): HARDIE STUCCO PANEL SIDING -SEE ELEVATIONS FOR LOCATIONS.
 4. WINDOW TRIM: 5/4 X 4 AROUND ALL WINDOWS AND DOORS. FLASH ABOVE ALL HORIZONTAL TRIM. RIP 5/4 TRIM BOARDS TO FIT AT CORNER WINDOWS.
 5. CORNER TRIM (TYPICAL): MITERED CORNER CLIPS PER MFR. AT EXTERIOR CORNERS. INSTALL 5/4 STOP BD. AT INTERIOR CORNERS.
 6. HORIZONTAL TRIM BAND: 5/4 X 12 W/ TOP FLASHING.
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 10. 6x6 POST WRAP WITH 5X4X HARDIE TRIM WITH 1X4 TOP AND BOTTOM TRIM.

A-5

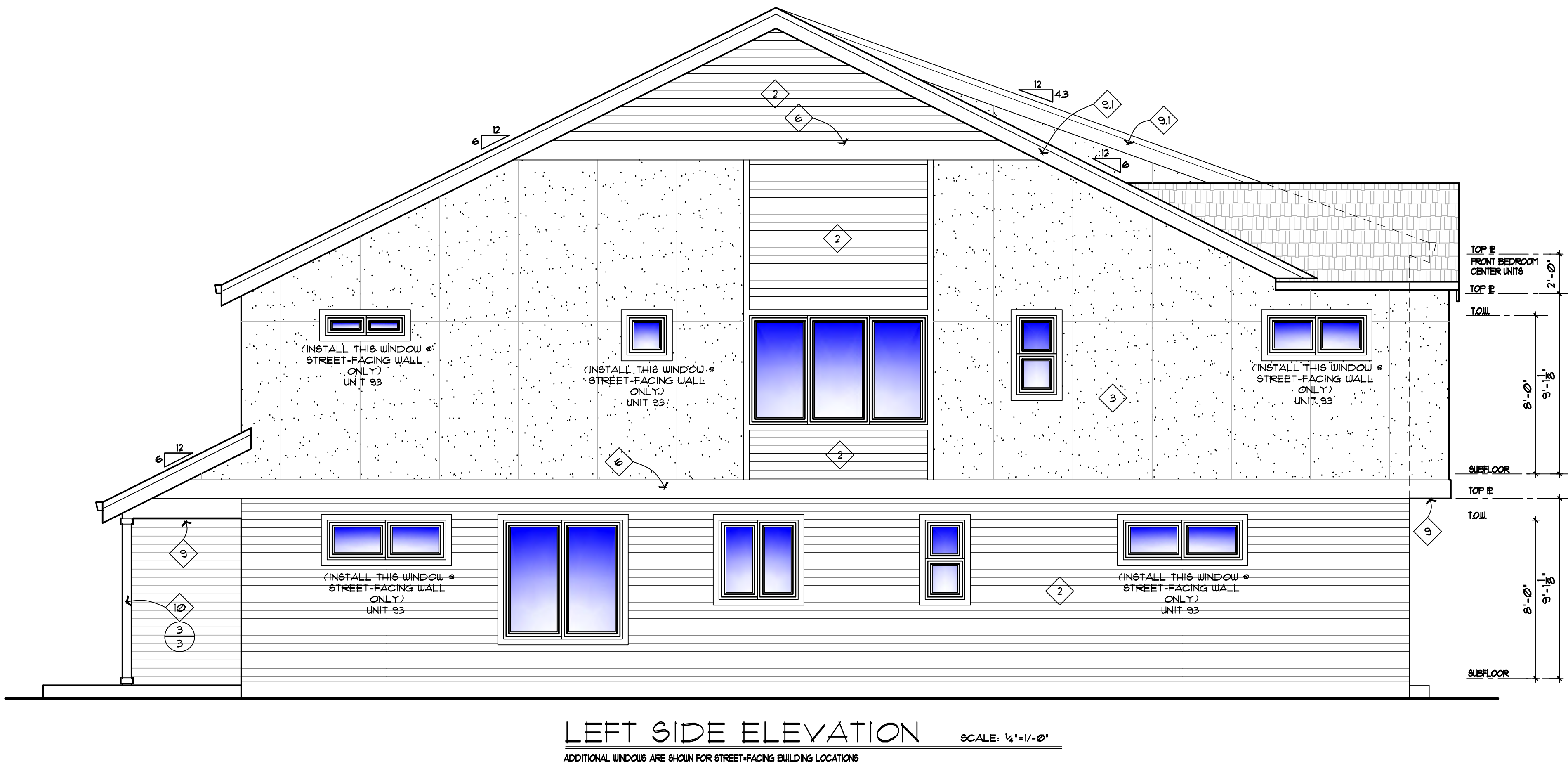
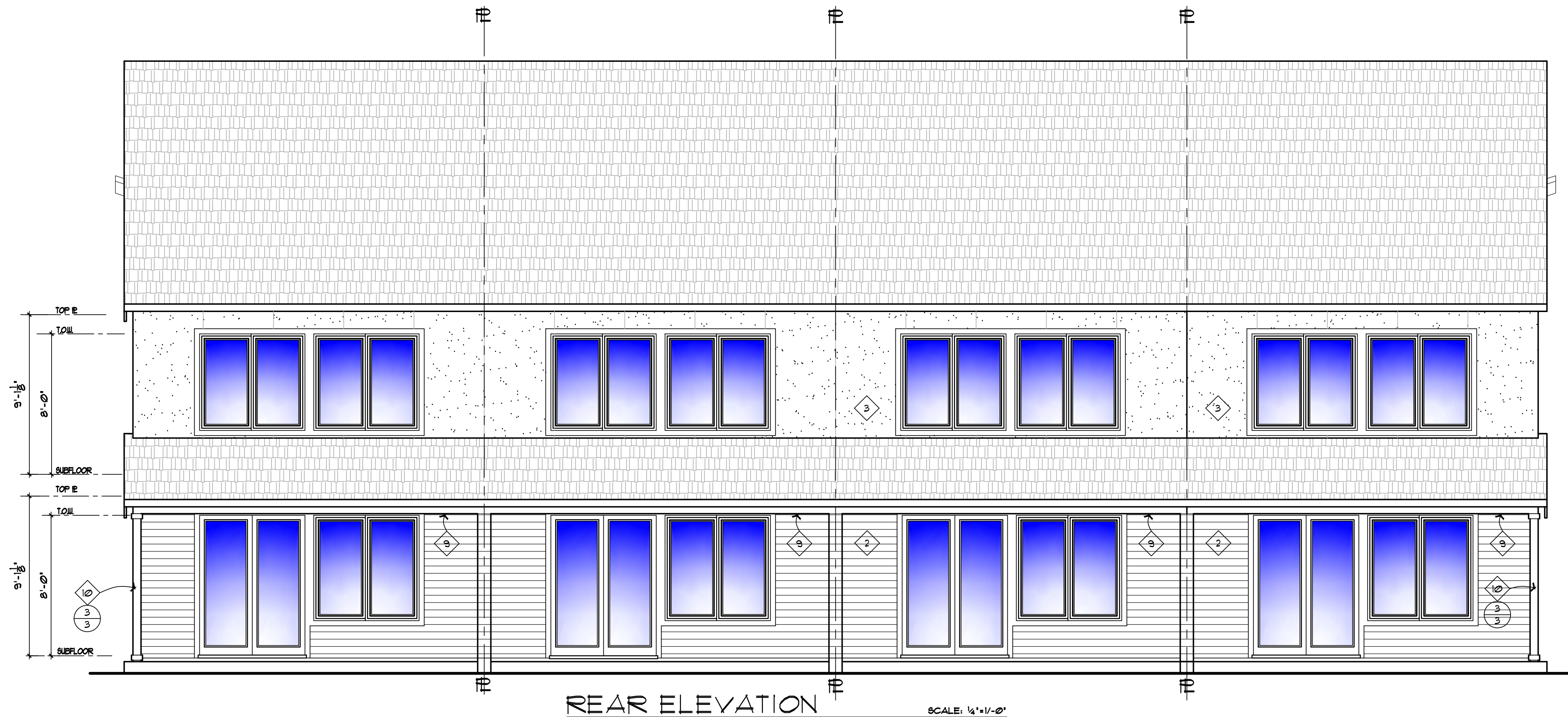
SCHOLLS HEIGHTS
TOWNHOMES
FRONT LOAD GARAGE
4-PLEX

SHEET*

OF 13

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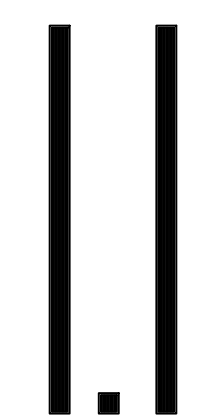
1/1/22, PRELIM SHHG
 1/1/23, REVISIONS SHHG
 1/1/23, REVISIONS SHHG
 1/23/23, REVISIONS SHHG



- ELEVATION KEYNOTES**
1. ROOFING (TYPICAL): ASPHALT SHINGLES (ORSC R305.2) PER BUILDER'S SELECTION.
 2. SIDING (MAIN STORY): HARDIE PLANK LAP SIDING, 5" EXPOSURE -SEE ELEVATIONS FOR LOCATIONS.
 3. SIDING (UPPER STORY): HARDIE STUCCO PANEL SIDING -SEE ELEVATIONS FOR LOCATIONS.
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 10. BARGE BOARDS: 1X4 TRIM ON 5/4 X 12 BARGE BOARD.
 11. 6X6 POST WRAP WITH 5X4X HARDIE TRIM WITH 1X4 TOP AND BOTTOM TRIM.

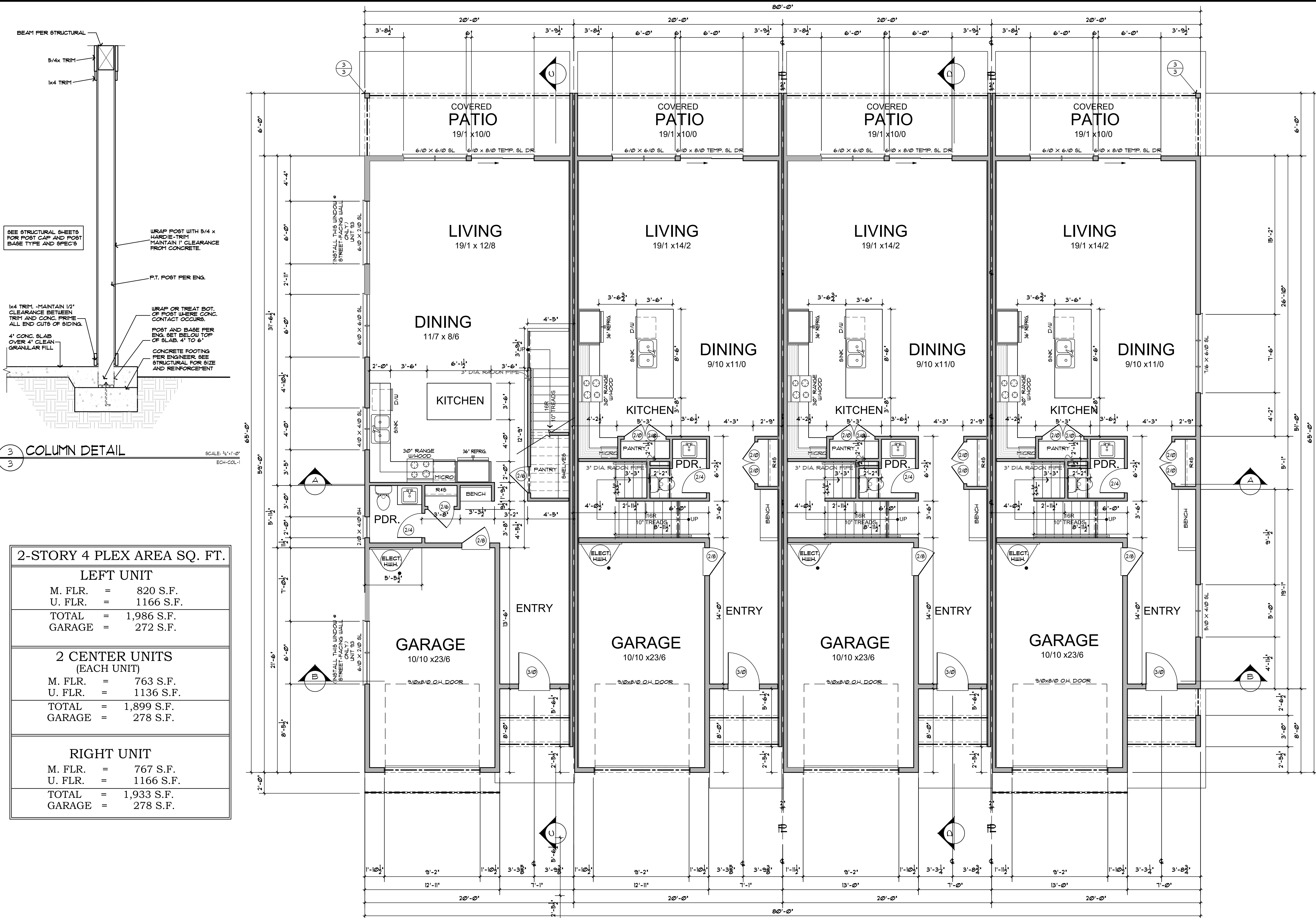
A-6

SCHOLLS HEIGHTS
TOWNHOMES
FRONT LOAD GARAGE
4-PLEX

SHEET*

OF 13
 JCB*

A-7

SCHOLLS HEIGHTS
TOWNHOMES
FRONT LOAD GARAGE
4-PLEX



2-STORY 4 PLEX AREA SQ. FT.	
LEFT UNIT	
M. FLR.	= 820 S.F.
U. FLR.	= 1166 S.F.
TOTAL	= 1,986 S.F.
GARAGE	= 272 S.F.
2 CENTER UNITS (EACH UNIT)	
M. FLR.	= 763 S.F.
U. FLR.	= 1136 S.F.
TOTAL	= 1,899 S.F.
GARAGE	= 278 S.F.
RIGHT UNIT	
M. FLR.	= 767 S.F.
U. FLR.	= 1166 S.F.
TOTAL	= 1,933 S.F.
GARAGE	= 278 S.F.

MAIN LEVEL FLOOR PLAN
SEE SHEET #5 FOR UPPER FLOOR FRAMING
1/4" = 1'-0"